



## PLANNING COMMISSION AGENDA

### City Council Chambers

66 North Lassen Street, Susanville, CA 96130

Phone (530) 252-5118 Fax (530)257-4725

**Tuesday, August 13, 2019 – 6:30 P.M.**

#### CALL TO ORDER

#### ROLL CALL

#### APPROVAL OF AGENDA

#### BUSINESS FROM THE FLOOR (NO ACTION TO BE TAKEN)

APPROVAL OF MINUTES: None

#### PUBLIC HEARING ITEMS:

1. Consider approval of Resolution 19-1078 approving a use permit to allow fencing to exceed standard height allowances in a PF zone on property located at 1110 Main Street file number (U 19-006)

NON-PUBLIC HEARING ITEMS: None

CORRESPONDENCE: None

CITY ATTORNEY REPORT: None

COUNTY REFERRALS: None

COMMISSION ITEMS:

#### ADJOURNMENT

The Planning Commission's action on Use Permit (including Planned Development Use Permits) and Variance items may be appealed to the City Council within 5 business days of action. The Planning Commission's action on Tentative Subdivision items may be appealed to the City Council within 10 business days of action. Appeals of the Planning Commission's action must be made in writing on the form provided by the City and must be accompanied by a fee adopted by the City Council. Appeals of Planning Commission actions must be based on comments made known (either through written or verbal comment) at the Planning Commission Meeting. Please contact the Community Development Department for more information regarding appeals.

**ACCESSIBILITY:** *An interpreter for the hearing-impaired may be made available upon request to the City Clerk seventy-two hours prior to a meeting. A reader for the vision-impaired for purposes of reviewing the agenda may be made available upon request to the City Clerk. The location of this meeting is wheelchair-accessible.*

#### SUSANVILLE PLANNING COMMISSION

CHAIR PERSON Linda Robinette

COMMISSIONERS ~ Dan Foster, Alan Dowdy, Wayne Jambois, Melanie Westbrook

**CITY OF SUSANVILLE PLANNING COMMISSION  
STAFF REPORT  
August 13, 2019**

<b>FILE NUMBER</b>	Use Permit # U 19-006		
<b>APPLICANT/OWNER</b>	Lassen Union High School District		
<b>REPRESENTATIVE</b>	Cori Shields		
<b>REQUEST</b>	Use Permit to allow fencing that exceeds standard height allowances.		
<b>ASSESSORS PARCEL NO.</b>	103-350-01		
<b>PARCEL SIZE</b>	15 acres		
<b>LOCATION</b>	1110 Main Street		
<b>EXISTING ZONING</b>	PF (Public Facilities) District		
<b>SURROUNDING ZONING AND LAND USE</b>	<b>ZONING</b>		<b>LAND USE</b>
	<b>North</b>	C-2	Mixed Commercial
	<b>South</b>	O-S	Riverside Park
	<b>East-</b>	C-2 and R-3-A	Commercial and Residential
	<b>West</b>	C-2	Residential and Commercial
<b>GENERAL PLAN DESIGNATION</b>	Critical Facilities (Public and Government)		
<b>ENVIRONMENTAL DETERMINATION</b>	Categorically exempt per CEQA guidelines, Section 15301 Existing Facilities		

**COMMENTS RECEIVED:**

City Building Official – Obtain Building Permit for fencing over six feet (6') in height.

City Public Works – No Comment

City Fire Department – Automatic gates must have Fire Department Knox Shunts; Vehicle Gates must be at least ten feet (10') wide; All Main Gates shall be openable from inside to allow for exiting; Manually operated gates must have commonly keyed lock, with keys in Knox Boxes; Gates may require Knox locks;

**PROJECT DESCRIPTION:**

The proposal is to enhance security at the school by installing eight foot (8') black chain link fencing along portions of the east and west side of the High School as well as a portion of the north side. Six foot (6') black decorative fencing is proposed for the majority of the front, north side, of the property. Rolling vehicle gates and pedestrian gates will also be incorporated into the fencing. (Note that the Option numbered areas on the site plan will not be part of the project.)

**ANALYSIS:**

The height limits standards for fences (17.96.030) may be exceeded for any zoning district provided that a use permit is issued. Standard height limitations for fences are three feet (3') in the required front yard setback, except that open wire or chain link fencing may reach to a five foot (5') height. Fences in side and rear yards may not exceed six feet (6').

Staff feels the proposal is reasonable for security and has a design that is aesthetically acceptable for the most part. The portion of the project that most exceeds code and perhaps the desired perspective along Main Street is in the northeast quadrant of the project where eight-foot (8') chain link is proposed in the front yard. The front yard in the Public Facilities District is twenty feet (20') in depth.

There is no Architectural and Site Plan Review requirement in the site development standards for structures in the Public Facilities District. However, conditions can be considered as part of any approval of this Use Permit.

**RECOMMENDATION:** Adoption of Resolution No. 19-1078, approving Use Permit for U 19-006 for Lassen Union High School District on APN:103-350-01 subject to the conditions listed in the attached Resolution.

**ATTACHMENTS:**

1. Resolution No. 19-1078
2. Project Plans

**RESOLUTION NO 19-1078**  
**A RESOLUTION OF THE SUSANVILLE PLANNING COMMISSION**  
**APPROVING A USE PERMIT TO ALLOW FENCING TO EXCEED STANDARD**  
**HEIGHT ALLOWANCES IN A PF ZONE ON PROPERTY LOCATED AT**  
**1110 MAIN STREET**  
**FILE NUMBER (U 19-006)**

**WHEREAS**, Lassen Union High School District has submitted an application for a Use Permit to allow fencing to exceed standard height allowances in a PF (Public Facilities District) zoned parcel on that property known as Assessor's Parcel Number 103-350-01 located at 1110 Main Street; and

**WHEREAS**, the City of Susanville Planning Division has determined that the project is exempt from CEQA as the proposal meets the qualifications for a Categorical Exemption under the California Environmental Quality Act (CEQA) as a Class 1 exemption, Section 15301 Existing Facilities; and

**WHEREAS**, the Susanville Planning Commission at a duly noticed public hearing held during its regular meeting of August 13, 2019, considered both written and oral comments presented concerning the Use Permit; and

**NOW, THEREFORE, BE IT RESOLVED** the City of Susanville Planning Commission makes the following independent findings of fact concerning the proposed Use Permit:

1. The general appearance of the proposed use and related improvements as conditioned will be in keeping with the existing character of the property and the surrounding neighborhood.
2. The approval complies with and is supported by the goals, policies and action programs of the Land Use Element of the General Plan.
3. That the establishment, maintenance, or operation of the subject use, building or facilities applied for will not, under the circumstances of the particular use and with the conditions imposed thereon, be detrimental to or contrary to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use and will not be injurious or detrimental to property or improvements in the neighborhood or the general welfare of the City.
4. The proposed project is in the public interest because it provides greater safety for students.
5. That any required public improvements are necessary for the public health, safety, welfare and orderly development of the area and are in accordance with adopted standards of the City of Susanville and other jurisdictions having control over development in this area.

**BE IT FURTHER RESOLVED**, the Planning Commission hereby approves the Use Permit, application Number 19-006 filed by Lassen Union High School District to allow fencing to exceed standard height allowances on property currently zoned PF in general conformity with the application and site plan stamped "CITY OF SUSANVILLE RECEIVED JULY 22, 2019, BUILDING & PLANNING" except as modified by the following terms, agreements and conditions contained in this Resolution:

**AREA/ SITE SPECIFIC CONDITIONS**

1. Meet and maintain all requirements of the City of Susanville Fire Marshall.

**FEES & OTHER CHARGES**

2. If needed, all standard mitigation fees and utility hookup fees apply to this project, unless waived or modified by individual providers.

**STANDARD CONDITIONS**

**GENERAL**

3. The requirements of all concerned governmental agencies having jurisdiction by law, including but not limited to the issuance of appropriate permits, shall be met.
4. For the purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.
5. All contractors and sub-contractors involved in the project shall obtain a City of Susanville Business License and maintain said license in force for the duration of the project.
6. The applicant/owner shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures, collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, Code of

Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that developer shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the developer of any Action brought and City shall cooperate with developer in the defense of the Action.

**FIRE**

7. The project shall meet the fire and life safety requirements of the Fire Department, including those listed in their comments.

APPROVED: \_\_\_\_\_  
Linda Robinette, Chairperson  
Planning Commission  
City of Susanville, State of California

ATTEST: \_\_\_\_\_  
Gwenna MacDonald, City Clerk  
Secretary to the Planning Commission

The foregoing resolution was introduced and adopted at a regular meeting of the Susanville Planning Commission held on the 13th day of August, 2019, by the following vote:

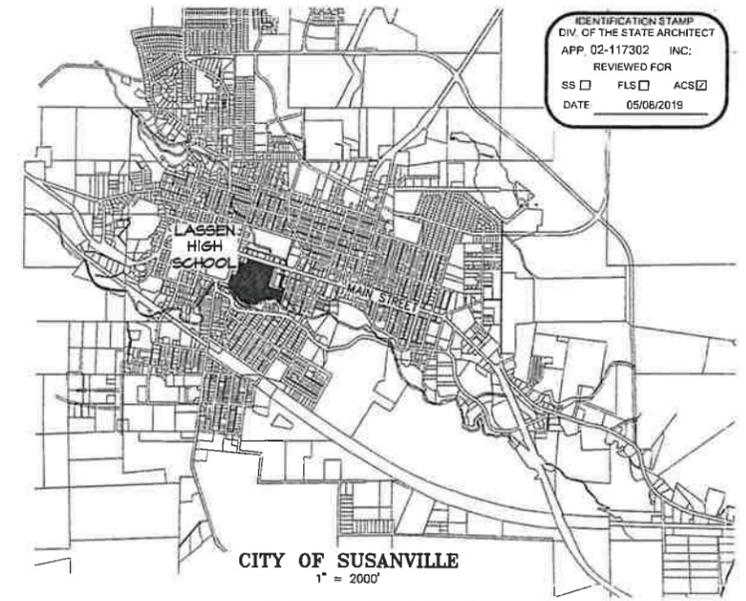
AYES:  
NOES:  
ABSENT:  
ABSTAIN:

\_\_\_\_\_  
Gwenna MacDonald, City Clerk  
Secretary to the Planning Commission

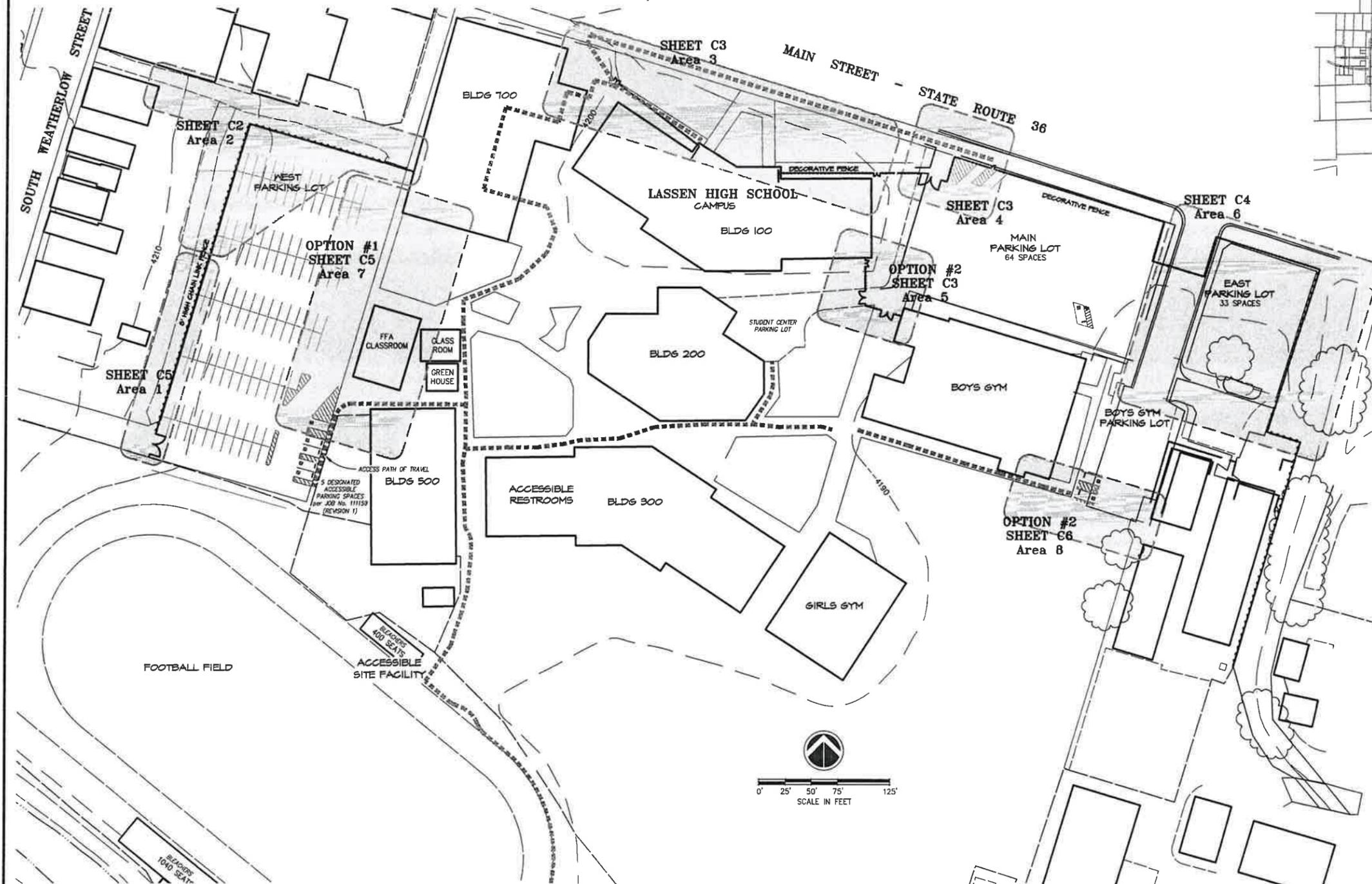
\_\_\_\_\_  
Jessica Ryan, City Attorney

CITY OF SUSANVILLE  
RECEIVED  
JUL 22 2019  
BUILDING & PLANNING

PROJECT PLANS FOR  
**FENCING & GATES**  
ON  
LASSEN HIGH SCHOOL CAMPUS  
1110 MAIN STREET  
SUSANVILLE, CALIFORNIA



IDENTIFICATION STAMP  
DIV. OF THE STATE ARCHITECT  
APP. 02-117302 INC.  
REVIEWED FOR  
SS  FLS  ACS   
DATE 05/08/2019



VICINITY MAP  
1" = 2000'

PROGRAM ACCESSIBILITY

THE LASSEN UNION HIGH SCHOOL DISTRICT IS PROPOSING TO INSTALL NEW GATES AND FENCING AT SEVERAL LOCATIONS ON CAMPUS IN ORDER TO PROVIDE ADDITIONAL SECURITY. THE NEW GATES WILL BE INSTALLED WITH HARDWARE ALLOWING EMERGENCY EXITING (WITH ACCESSIBLE COMPLIANT STANDARDS). THE EXISTING SIDEWALK IN THE PROXIMITY TO THE GATES WILL BE REMOVED AND NEW CONCRETE WALKS MEETING ACCESSIBILITY STANDARDS WILL BE INSTALLED.

SCOPE OF IMPROVEMENTS

INSTALL FENCING AND GATES ALONG WEST PARKING LOT (SHEET C2, AREA #2 AND SHEET C5, AREA #1); MAIN STREET FRONTAGE BETWEEN BUILDING 700 AND THE EAST PARKING LOT (SHEET C3, AREAS #3 AND #4); AND EXTENDED ALONG THE EAST SIDE OF THE EAST PARKING LOT UNTIL IT TIES INTO EXISTING FENCE ALONG FAULTE CREEK (SHEET C4, AREA #5). INSTALL UNDERGROUND CONDUIT TO EXISTING BUILDING SUBPANEL AND TO EXISTING PANEL MAIN FROM NEW MOTORIZED GATES.

OPTION #1 - SEE SHEET C5  
ADD GATES AND FENCING BETWEEN BUILDING 700 AND FFA CLASSROOM (3 MAN GATES, 2 VEHICULAR GATES).

OPTION #2 - SEE SHEET C3, C5  
INSTALL GATES AND FENCING BETWEEN MAIN BOYS' GYMNASIUM AND MODULAR BUILDING (2 MAN GATES, 2 VEHICULAR GATES) AND BETWEEN BUILDING 100 AND BOYS' GYM.

APPLICABLE CODES

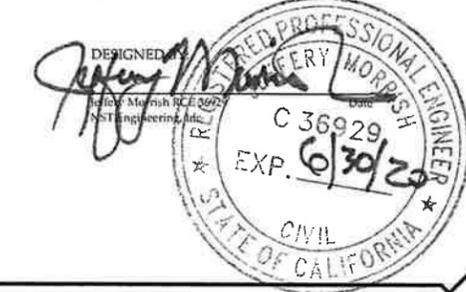
2018 CBC (2015 IBC)

SHEET INDEX

- C1 TITLE SHEET
- C2 AREA 2 SITE PLAN
- C3 AREA 3, 4, AND 5 SITE PLANS
- C4 AREA 6 SITE PLAN AND DETAILS
- C5 AREA 1, 7 AND DETAILS
- C6 AREA 8 SITE PLAN, NOTES, AND DETAILS
- C7 FENCE DETAILS
- C8 SECTIONS

APPROVALS

Dean Russ \_\_\_\_\_ Date \_\_\_\_\_  
Lassen Union High School District



LASSEN HIGH SCHOOL CAMPUS - KEY MAP

NO.	DATE	DESCRIPTION	BY
1	4/17/19	DSA REVISIONS	JB
		REVISIONS	

**NST Engineering, Inc.**  
1495 Riverdale Drive  
Susanville, CA 96130  
(530) 257-5173

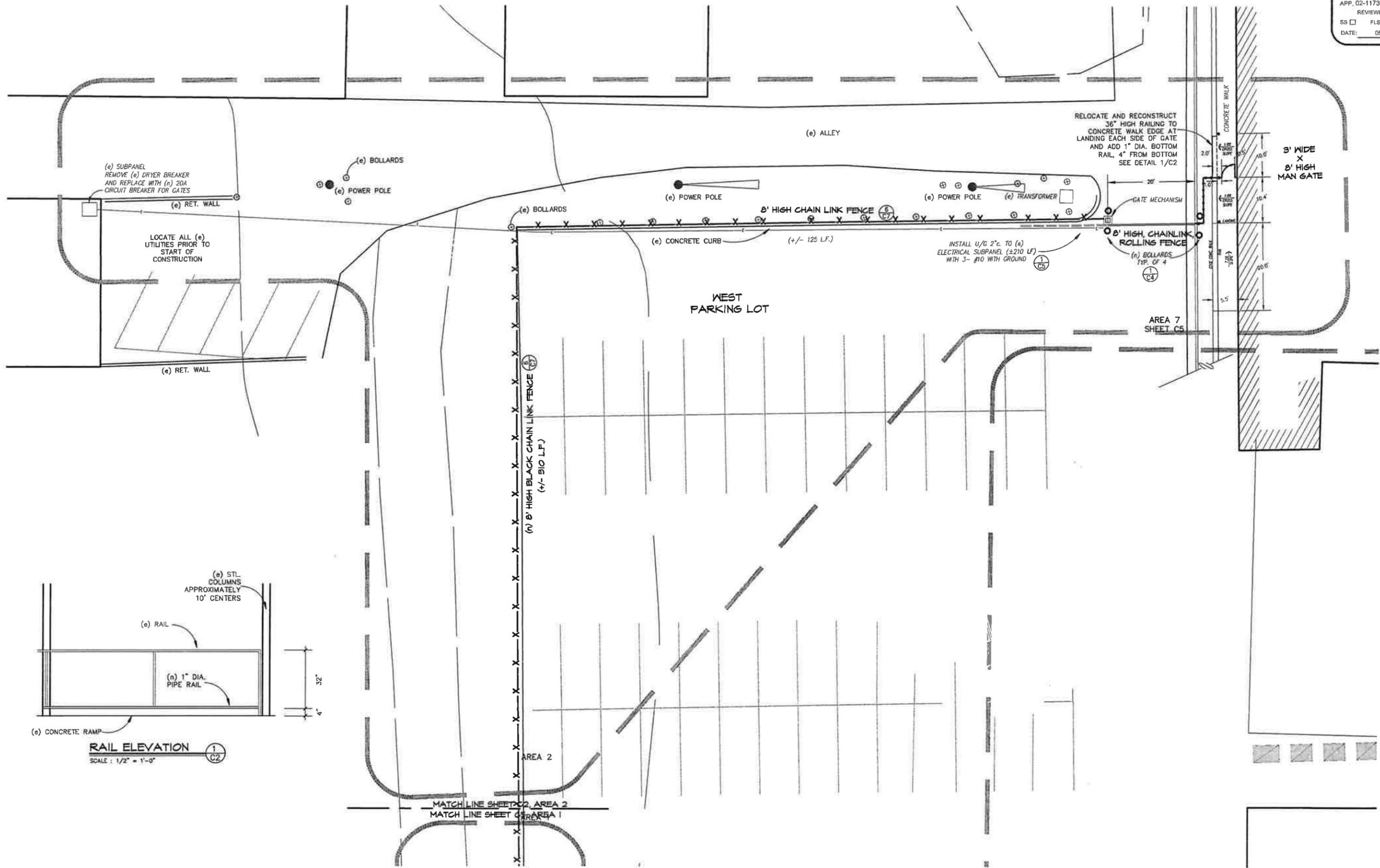
DRAWN BY: JB  
CHECKED BY: JAM  
DATE: 1/17/19  
JOB No. 2015-034

TITLE SHEET

LASSEN HIGH SCHOOL - FENCING & GATES

SHEET  
**C1**  
SHEET 1 OF 8  
JOB No. 15-34

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 DIV. OF THE STATE ARCHITECT  
 APP. 02-117302 INC.  
 REVIEWED FOR  
 SS  FLS  ACS   
 DATE: 05/06/2019



Area 2 Plan  
 Scale: 1" = 10'

LASSEN HIGH SCHOOL - FENCING & GATES

Area 2 SITE PLAN

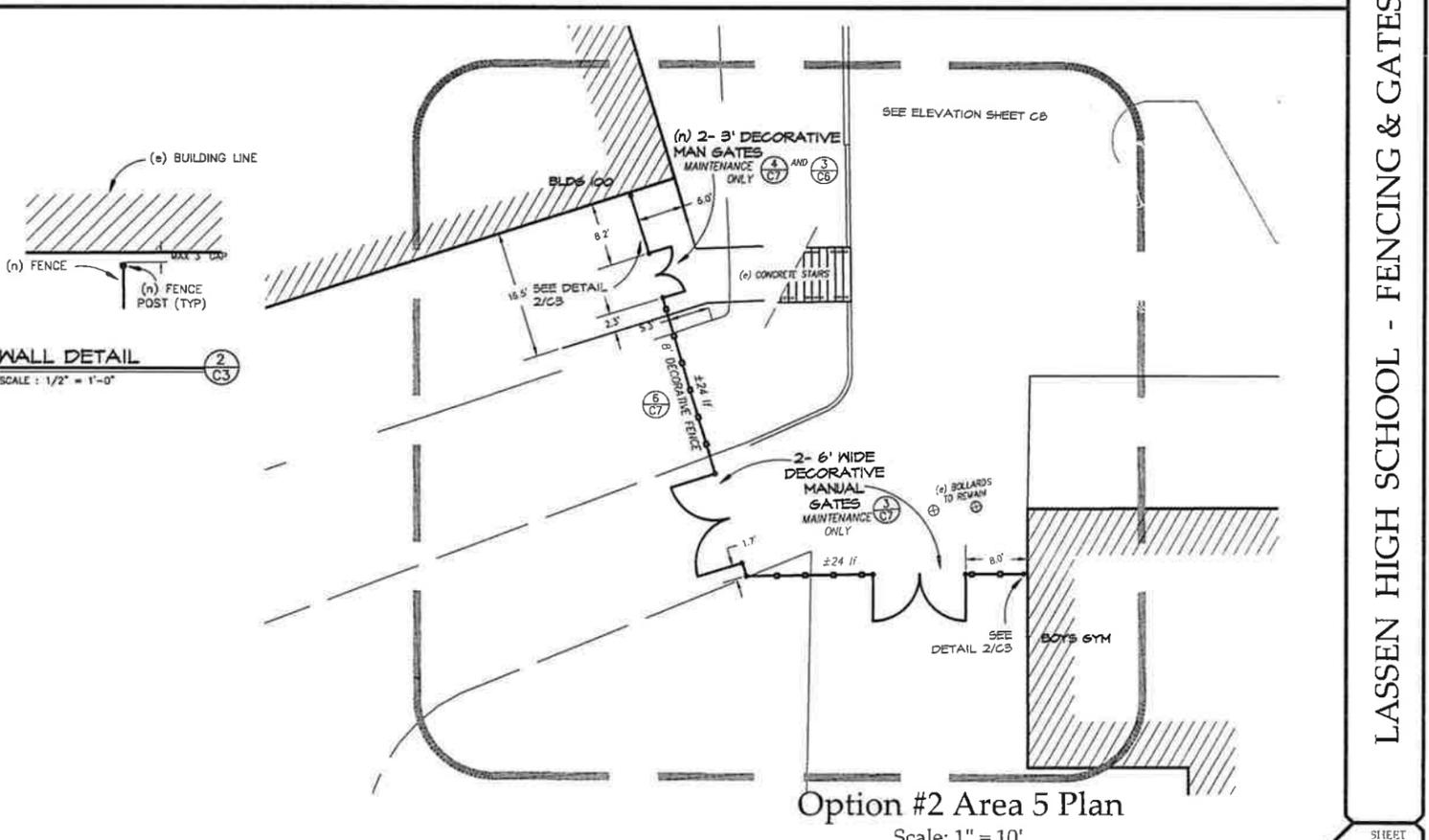
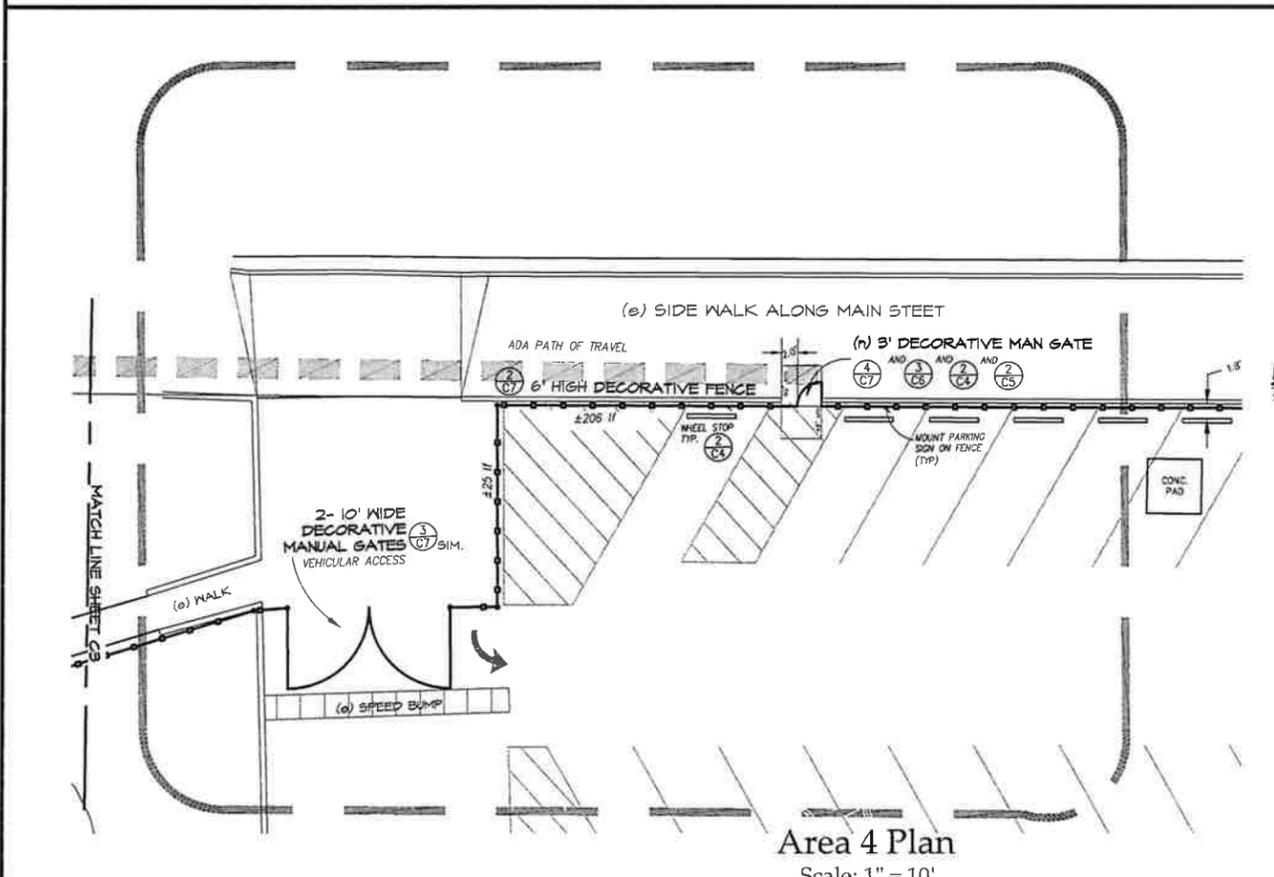
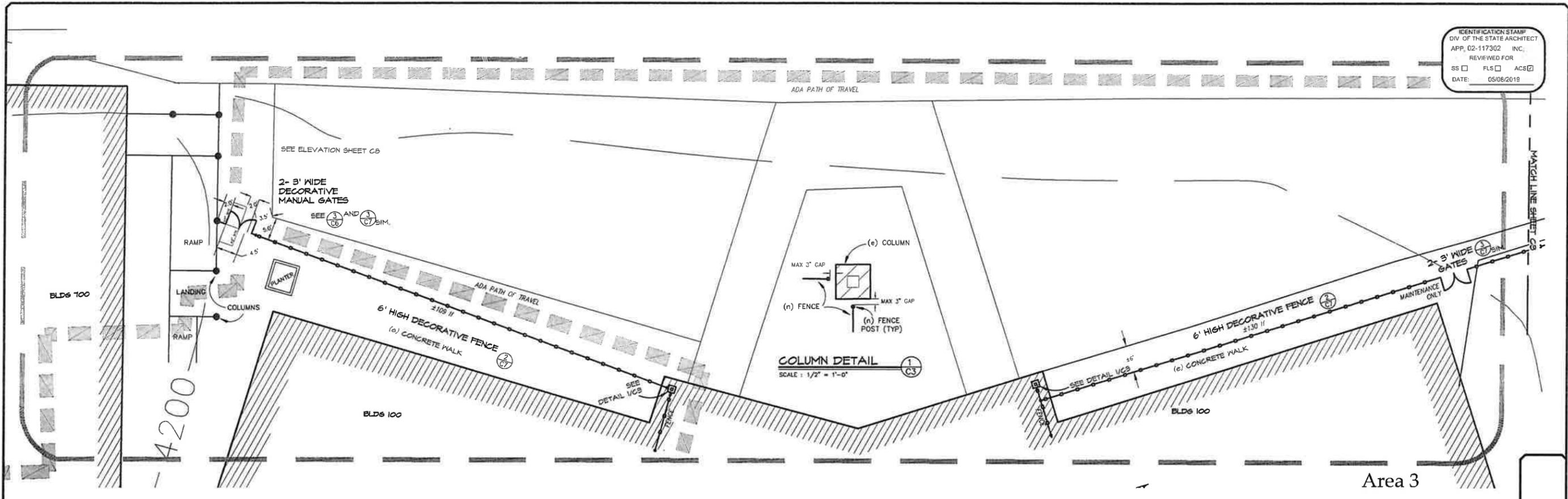
NO.	DATE	DESCRIPTION	BY
1	4/17/19	DSA REVISIONS	JB
		REVISIONS	

**NST Engineering, Inc.**  
 1496 Riverside Drive  
 Susanville, CA 96130  
 (530) 257-5173

DRAWN BY:	JB
CHECKED BY:	JAM
DATE:	12/07/18
JOB No.	2015-034

SHEET  
**C2**  
 SHEET 2 OF 8  
 JOB No. 15-34

IDENTIFICATION STAMP  
 DIV. OF THE STATE ARCHITECT  
 APP. 02-117302 INC.  
 REVIEWED FOR  
 SS  FLS  ACS   
 DATE: 05/08/2019



LASSEN HIGH SCHOOL - FENCING & GATES

NO.	DATE	DESCRIPTION	BY
1	4/17/19	DSA REVISIONS	JB
		REVISIONS	

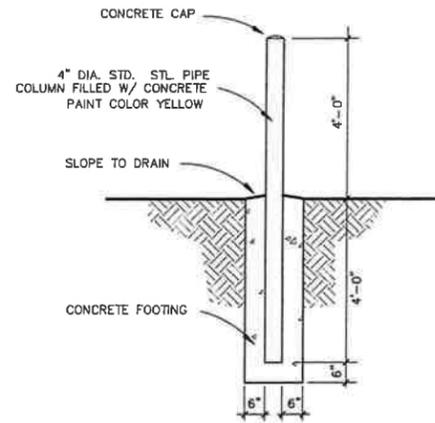
**NST Engineering, Inc.**  
 1490 Riverside Drive  
 Susanville, CA 96130  
 (530) 257-5173

DRAWN BY: JB  
 CHECKED BY: JAM  
 DATE: 1/17/19  
 JOB No.: 2015-014

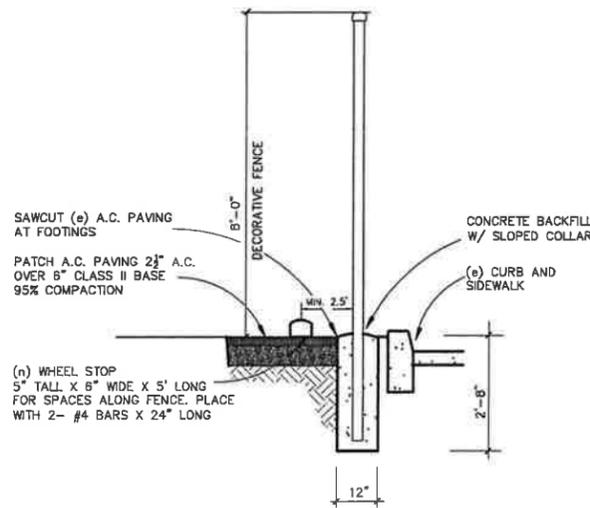
## Areas 3, 4 and 5 SITE PLANS

SHEET  
**C3**  
 SHEET 3 OF 8  
 JOB No. 15-34

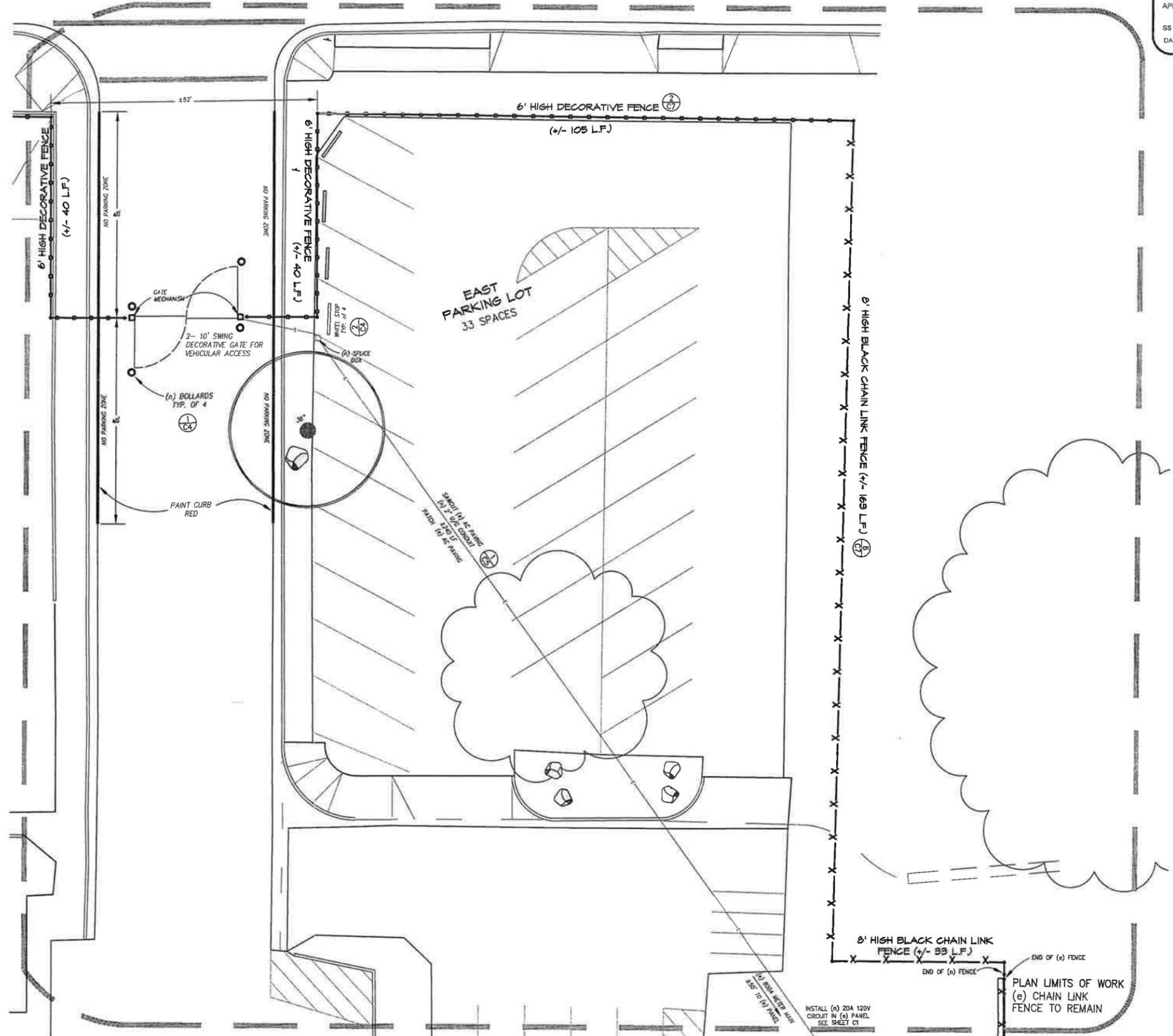
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 DIV. OF THE STATE ARCHITECT  
 APP. 02-117302 INC.  
 REVIEWED FOR  
 SS  FLS  ACS   
 DATE: 05/08/2019



**PIPE BOLLARD**  
 SCALE: 1/4" = 1'-0"  
 1 C4



**FENCE POST DETAIL**  
 SCALE: 1/2" = 1'-0"  
 2 C4



**Area 6 Plan**  
 Scale: 1" = 10'

LASSEN HIGH SCHOOL - FENCING & GATES

NO.	DATE	DESCRIPTION	BY
1	4/17/19	DSA REVISIONS	JB
		DESCRIPTION	
		REVISIONS	

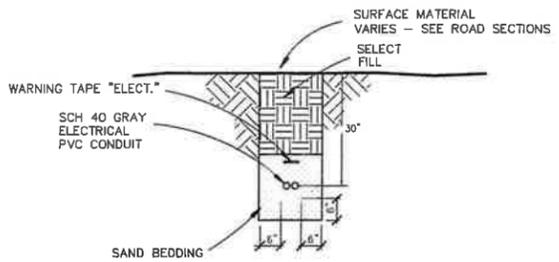
**NST Engineering, Inc.**  
 1400 Riverside Drive  
 Susanville, CA 96130  
 (530) 257-9173

DRAWN BY: JB  
 CHECKED BY: JAM  
 DATE: 1/17/19  
 JOB No. 2015-034

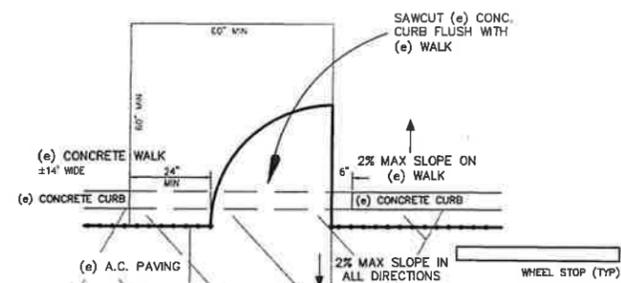
**Area 6 SITE PLAN and DETAILS**

SHEET  
**C4**  
 SHEET 4 OF 5  
 JOB No. 15-34

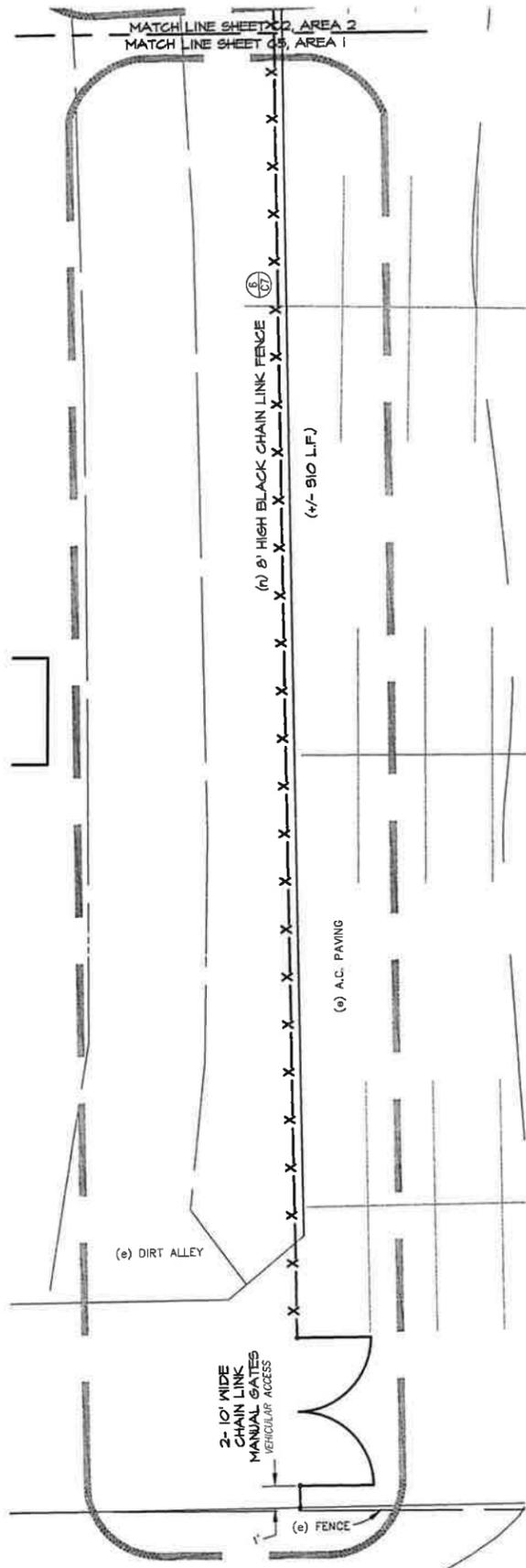
IDENTIFICATION STAMP  
 DIV. OF THE STATE ARCHITECT  
 APP. 02-117302 INC.  
 REVIEWED FOR  
 SS  FLS  ACS   
 DATE: 05/08/2019



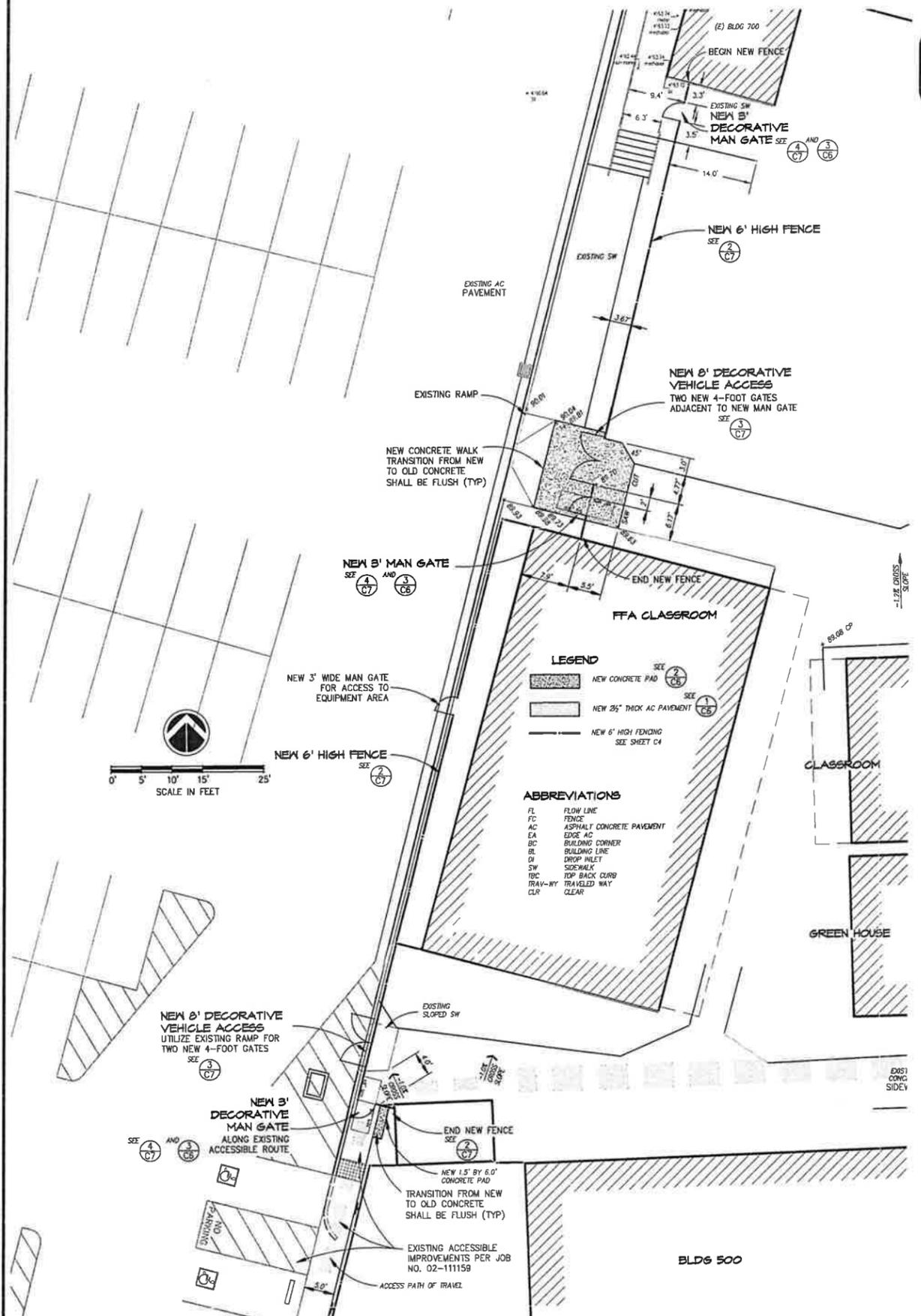
**ELECTRICAL TRENCH**  
 SCALE: 1/2" = 1'-0" (1/CS)



**GATE DETAIL**  
 SCALE: 1/2" = 1'-0" (2/CS)



**Area 1**  
 Scale: 1" = 10'



**Area 1, 7 and DETAILS**

LASSEN HIGH SCHOOL - FENCING & GATES

NO.	DATE	DESCRIPTION	BY
1	4/17/19	DSA REVISIONS	JB
		REVISIONS	

**NST Engineering, Inc.**  
 1495 Riverside Drive  
 Suisunville, CA 95830  
 (530) 257-6173

DRAWN BY: JB
CHECKED BY: JAM
DATE: 1/17/19
JOB No. 2015-434

SHEET  
**C5**  
 SHEET 5 OF 8  
 JOB No. 15-34

# CONCRETE

## GENERAL

THIS SECTION INCLUDES THE PLACEMENT OF CONCRETE AND INCIDENTAL WORK ASSOCIATED WITH THE PLACEMENT OF CONCRETE. THE SCOPE OF THIS SECTION IS THE PLACEMENT OF CONCRETE AS SHOWN ON CIVIL PLANS ONLY. THE CONTRACTOR SHALL TAKE WHATEVER STEPS ARE NECESSARY TO INSURE THE CONCRETE IS NOT DAMAGED DUE TO WEATHER, VANDALISM, TRAFFIC OR OTHER PROBLEMS.

## STANDARDS

THE CONTRACTOR SHALL MEET THE REQUIREMENTS AND RECOMMENDATIONS OF APPLICABLE PORTIONS OF STANDARDS LISTED - LATEST APPLICABLE EDITIONS:  
 AMERICAN CONCRETE INSTITUTE, ACI  
 AMERICAN SOCIETY FOR TESTING AND MATERIALS, ASTM  
 CONCRETE REINFORCING STEEL INSTITUTE, CRSI  
 NATIONAL READY MIXED CONCRETE ASSOCIATION, NRMCA  
 UNITED STATES OF AMERICA STANDARDS INSTITUTE, USAI  
 CALIFORNIA BUILDING CODE, TITLE 24, PART 2 - ACCESSIBILITY REQUIREMENTS.

## AGGREGATE BASE COURSE

BASE COURSE SHALL BE MINERAL AGGREGATE CONFORMING TO AND INSTALLED IN ACCORDANCE WITH 26-1.02 A CLASS 2 AGGREGATE BASE (3/4" MAXIMUM) OF CAL TRANS STANDARD SPECIFICATIONS, CLASS 2 AGGREGATE BASE SHALL BE SPREAD WITH EQUIPMENT THAT WILL PROVIDE A UNIFORM AND MAXIMUM 6" LAYER CONFORMING TO THE PLANNED SECTION.

THE RELATIVE COMPACTION OF EACH 6" LAYER OF COMPACTED BASE MATERIAL SHALL NOT BE LESS THAN 95 PERCENT OF THAT DETERMINED BY TEST METHOD NO. CALIF. 216 OR ASTM 1557.

THE THICKNESS OF THE FINISHED BASE SHALL NOT VARY MORE THAN 0.01 FOOT FROM THE PLANNED THICKNESS AT ANY POINT. BASE WHICH DOES NOT CONFORM TO THE ABOVE REQUIREMENTS SHALL BE RESHAPED OR REWORKED, WATERED AND THOROUGHLY RECOMPACTED TO CONFORM TO THE SPECIFIED REQUIREMENTS.

## MATERIALS

MATERIALS AND METHODS SHALL MEET REQUIREMENTS OF ACI 301 AND ASTM C-94.  
 COURSE AGGREGATE (ASTM C33) MINIMUM SIZE 1" x No. 4.  
 SAND (ASTM C33)  
 CEMENT, TYPE II LOW ALKALI OR TYPE IP.

## DESIGN SPECIFICATIONS

ALL CONCRETE MIX DESIGNS SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER. DESIGNS SHALL BE IN ACCORDANCE WITH ACI CODE 318, 301, 211 AND CBC SECTION 19 METHOD B OR C.

EXTERIOR CONCRETE FOR WALKS, SLABS, DRIVEWAYS, DRAINAGE STRUCTURES, AND CURBS, ETC., SHALL MEET THE REQUIRED BUILDING CODE DURABILITY SPECIFICATIONS OF A MAXIMUM 0.45 WATER-CEMENT RATIO AND 4500 PSI. EXTERIOR CONCRETE FOR VERTICAL CURBS, RETAINING WALLS, POSTS, COLUMNS, ETC., NOT SUBJECT TO FREEZE-THAW CONDITIONS SHALL MEET A SPECIFIED STRENGTH OF 4000 PSI. THE OVER-DESIGN CRITERIA SHALL MEET ACI AND BUILDING CODE REQUIREMENTS OF 16 (SPECIFIED STRENGTH) PLUS 1200 PSI. AGGREGATE TESTS, TRIAL BATCHES AND/OR MIX DESIGNS SHALL BE CURRENT AND SIGNED BY AN ENGINEER.

THE 28 DAY COMPRESSIVE STRENGTH REQUIREMENTS MAY BE EXTENDED TO 56 DAYS WHEN CEMENT TYPE IP OR TYPE II MODIFIED WITH FLY ASH IS USED. IN NO EVENT SHALL WATER BE ADDED TO EXCEED THE SPECIFIED SLUMP. IF HIGHER SLUMPS ARE DESIRED, THE USE OF SUPERPLASTICIZER IS ACCEPTABLE.

## CONCRETE CURING

REF. ACI 308 CONTINUOUSLY MOISTENED BURLAP FOR THE FIRST 7 DAYS OF CURING OR TWO COATS OF WHITE PIGMENTED CURING COMPOUND.

## HOT & COLD WEATHER CONCRETING

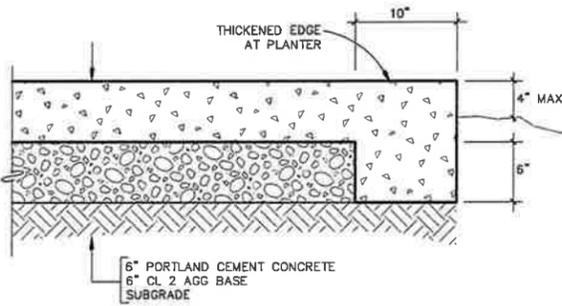
PER ACI 305 AND 306

## CONCRETE PLACEMENT

REINFORCEMENT PLACEMENT ALONG WITH FORM DIMENSIONS, GRADES AND SLOPES SHALL BE VERIFIED PRIOR TO CONCRETE POUR. FORM WORK SHALL BE COATED WITH A RELEASE AGENT. ALL CONCRETE WITH REINFORCEMENT SHALL BE MACHINE VIBRATED FOR PROPER CONSOLIDATION. CONCRETE SHALL NOT BE "OVERWORKED" DURING PLACEMENT AND FINISHING. AT NO TIME WILL THE USE OF WATER BE ALLOWED TO AID IN THE FINISHING PROCESS. A "SURFACE RETARDER" SUCH AS CONFORM IS PERMITTED TO AID IN FINISHING IF NECESSARY.

## FINISH

ALL CONCRETE SIDEWALKS SHALL HAVE A "LIGHT BROOM" FINISH APPLIED PERPENDICULAR TO PEDESTRIAN TRAFFIC FLOW.  
 TOOLED JOINTS SHALL BE PROVIDED AT A MIN. OF 6' O.C.



**6" CONCRETE PAD**

SCALE: 1/2" = 1'-0"

# EARTHWORK

## GENERAL

THE CONTRACTOR SHALL EXCAVATE ALL MATERIALS, REGARDLESS OF CHARACTER, TO THE DEPTHS INDICATED. THE CONTRACTOR SHOULD BE AWARE OF AND PLAN FOR ENCOUNTERING GROUND WATER DURING ANY CORING, DRILLING, OR EXCAVATING.

## STANDARDS

MEET REQUIREMENTS AND RECOMMENDATIONS OF APPLICABLE PORTIONS OF STANDARDS LISTED, LATEST APPLICABLE EDITIONS:  
 1) APPENDIX CHAPTER 33 EXCAVATION AND GRADING - CALIFORNIA BUILDING CODE (CBC)  
 2) AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)  
 3) CAL TRANS STANDARD SPECIFICATIONS

## PROTECTION

ADEQUATE PROTECTION MEASURES SHALL BE PROVIDED TO PROTECT WORKMEN AND PASSENGERS BY THE SITE. STREETS AND ADJACENT PROPERTY SHALL BE FULLY PROTECTED THROUGHOUT THE OPERATIONS.

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO WORKING HOURS.

ADJACENT STREETS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE AND KEPT FREE FROM MUD, DIRT OR SIMILAR NUISANCES RESULTING FROM EARTHWORK OPERATIONS.

THE SITE AND ADJACENT INFLUENCED AREAS SHALL BE WATERED AS REQUIRED TO SUPPRESS DUST NUISANCE.

CAREFULLY PROTECT EXISTING TREES TO REMAIN.

WHERE EXISTING UTILITIES ARE ENCOUNTERED, REGULATIONS GOVERNING THE RESPECTIVE UTILITIES SHALL BE OBSERVED IN EXECUTING ALL WORK AFFECTING SAME. ACTIVE UTILITIES SHOWN ON THE DRAWINGS SHALL BE ADEQUATELY PROTECTED FROM DAMAGE, AND REMOVED OR RELOCATED ONLY AS DIRECTED, INDICATED OR SPECIFIED.

## EXCAVATION, COMPACTION & IMPORTED FILL

WHERE UNSUITABLE MATERIAL IS ENCOUNTERED AT THE BOTTOM OF STRUCTURE EXCAVATIONS WHICH WILL NOT STABILIZE, UNDER COMPACTION, TO A FIRM UNYIELDING STATE, THE CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER WHO SHALL ASSESS THE SITUATION AND MAKE RECOMMENDATIONS.

IN THE EVENT SUBSURFACE OBSTRUCTIONS NOT NORMALLY EXPECTED ARE ENCOUNTERED, AND NOT SHOWN ON THE PLANS, SUCH AS FOUNDATIONS, PILING, ELECTRICAL DUCTS, OR PIPING, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS BEFORE PROCEEDING. IMPORTED FILL SHALL BE A GRANULAR, NON-PLASTIC MATERIAL, 2" MAXIMUM GRADING, WITH LESS THAN 15% PASSING A 200 SIEVE. REGARDLESS OF ACHIEVED RESULTS, ALL STRUCTURAL FILL SHALL BE FIRM & STABLE ENOUGH TO SUPPORT CONSTRUCTION EQUIPMENT.

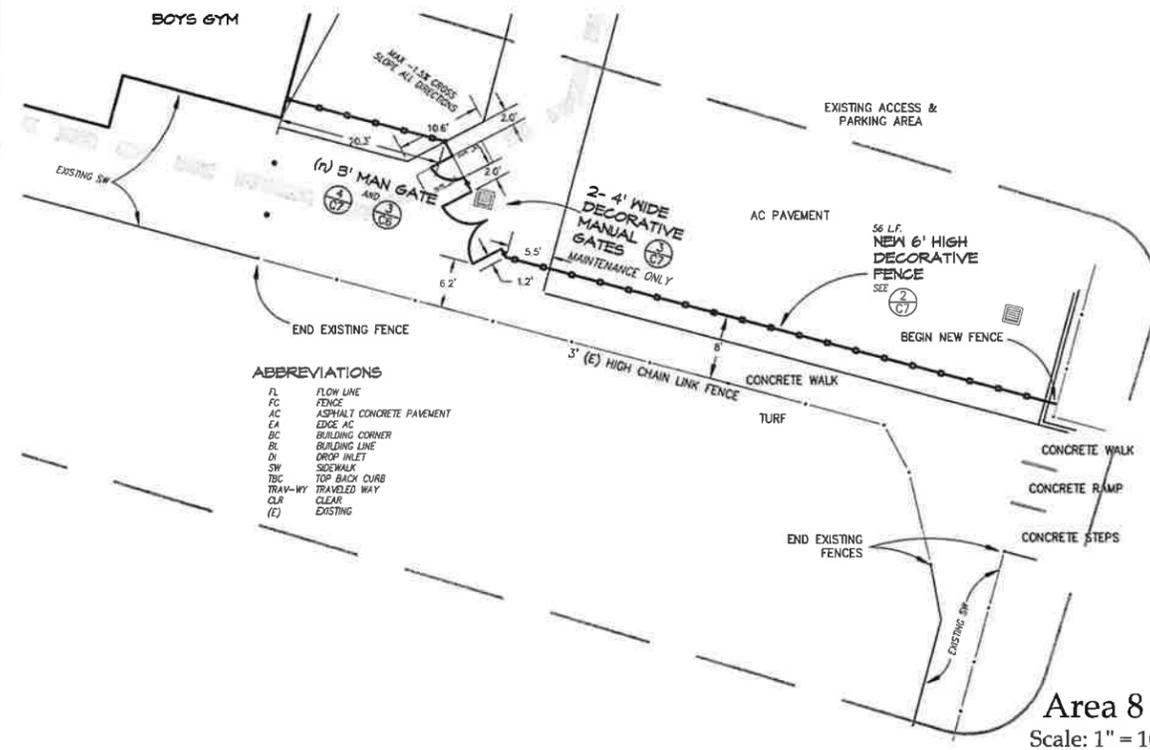
EXCAVATION COMPACTION: FOR AREAS BENEATH PAVEMENT, STRUCTURES OR CONCRETE SLABS, THE SUB GRADE OF NATIVE SOILS WITHIN EXCAVATION SHALL BE SCARIFIED TO A DEPTH OF 6", BROUGHT TO NEAR OPTIMUM MOISTURE AND COMPACTED TO 95% OF ASTM D 1557.

FILL COMPACTION: FOR AREAS BENEATH PAVEMENT, STRUCTURES OR CONCRETE SLABS, FILL SECTIONS SHALL BE COMPACTED TO 90% OF ASTM D 1557 (EXCEPT THAT WITHIN 1 FOOT OF FINISH GRADE, FILL SECTIONS SHALL BE COMPACTED TO 95% OF ASTM D 1557).

EACH LIFT SHALL BE 8" MAXIMUM AND MOISTURE CONDITIONED TO NEAR OPTIMUM PRIOR TO COMPACTION. THE FINAL LIFT SHALL BE GRADED TO WITHIN ONE-TENTH OF A FOOT OF REQUIRED GRADE.

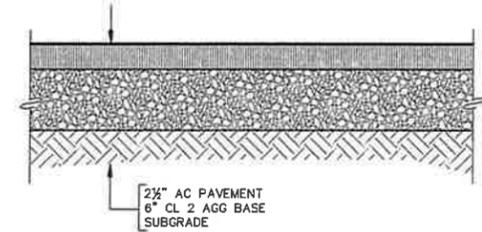
ALL IMPORTED FILL IN NON-STRUCTURAL AREAS SHALL BE COMPACTED TO 90% @ 8" LIFTS UNLESS OTHERWISE STATED ABOVE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OFF-SITE REMOVAL AND DISPOSAL, IN ACCORDANCE WITH ALL REGULATIONS.

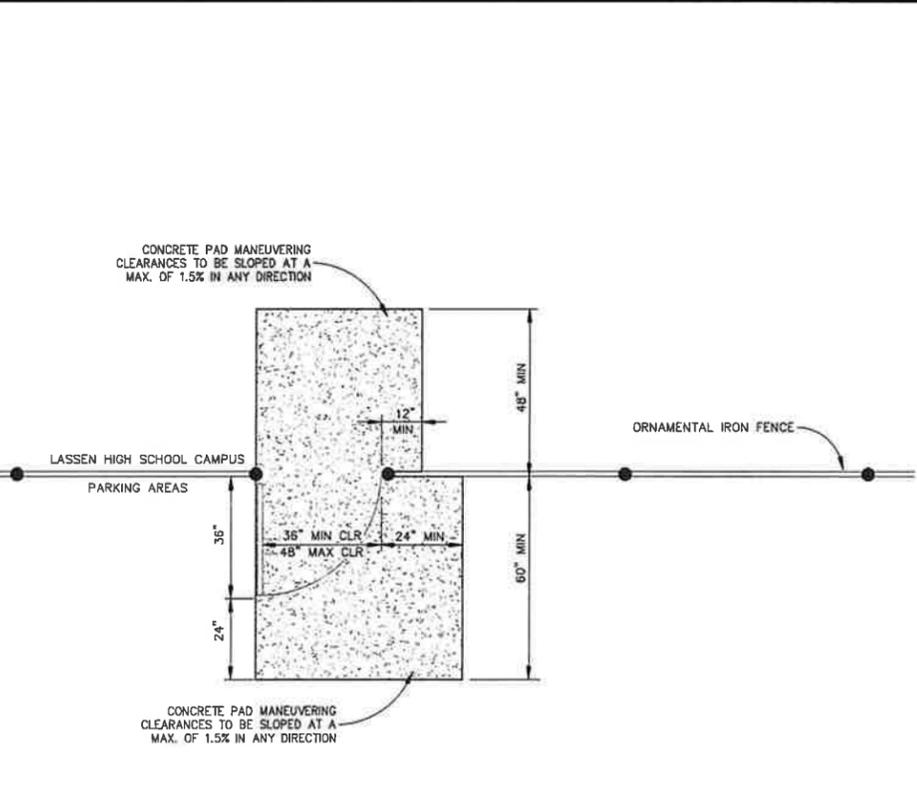


**Area 8**  
Scale: 1" = 10'

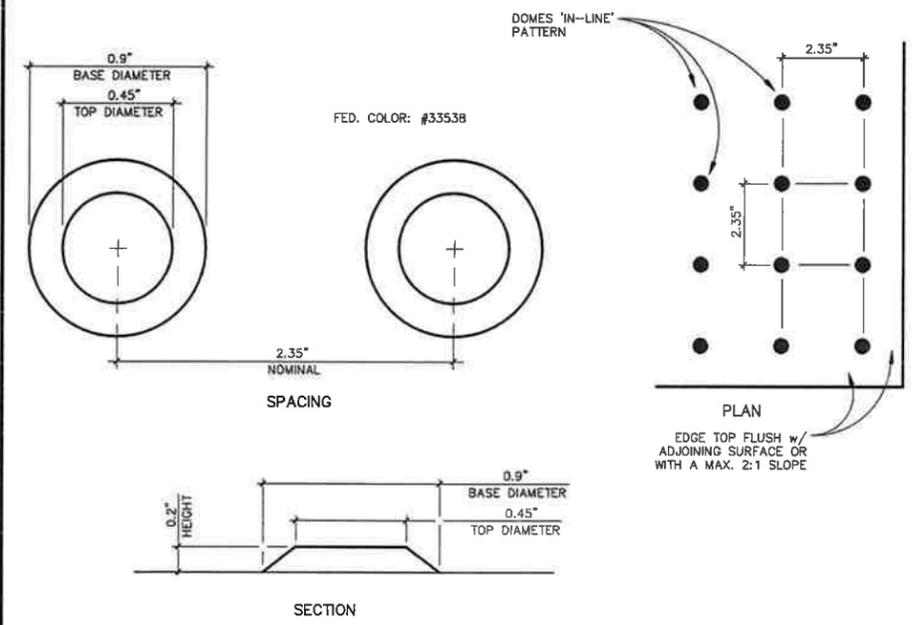
IDENTIFICATION STAMP  
 DIV. OF THE STATE ARCHITECT  
 APP. 02-117302 INC.  
 REVIEWED FOR  
 SS  FLS  ACS   
 DATE: 05/08/2019



**AC PAVING**  
SCALE: 1/2" = 1'-0" SECTION 1/66



**MANEUVERING CLEARANCES AT MAN GATES**  
SCALE: 1/2" = 1'-0" 3/66



**TRUNCATED DOMES**  
NOT TO SCALE SPACING & SECTION 4/66

LASSEN HIGH SCHOOL - FENCING & GATES

SHEET  
**C6**  
 SHEET 6 OF 8  
 JOB No. 15-34

# Area 8 SITE PLAN, NOTES & DETAILS

1	4/17/19	DSA REVISIONS	JB
1	7/22/15	DSA REVIEW	KMB
NO	DATE	DESCRIPTION	BY
REVISIONS			

**NST Engineering, Inc.**  
 1485 Riverside Drive  
 Susanville, CA 96130  
 (530) 237-9173

DRAWN BY: JB  
 CHECKED BY: JAM  
 DATE: 1/17/19  
 JOB No. 2015-034

LASSEN  
HIGH SCHOOL

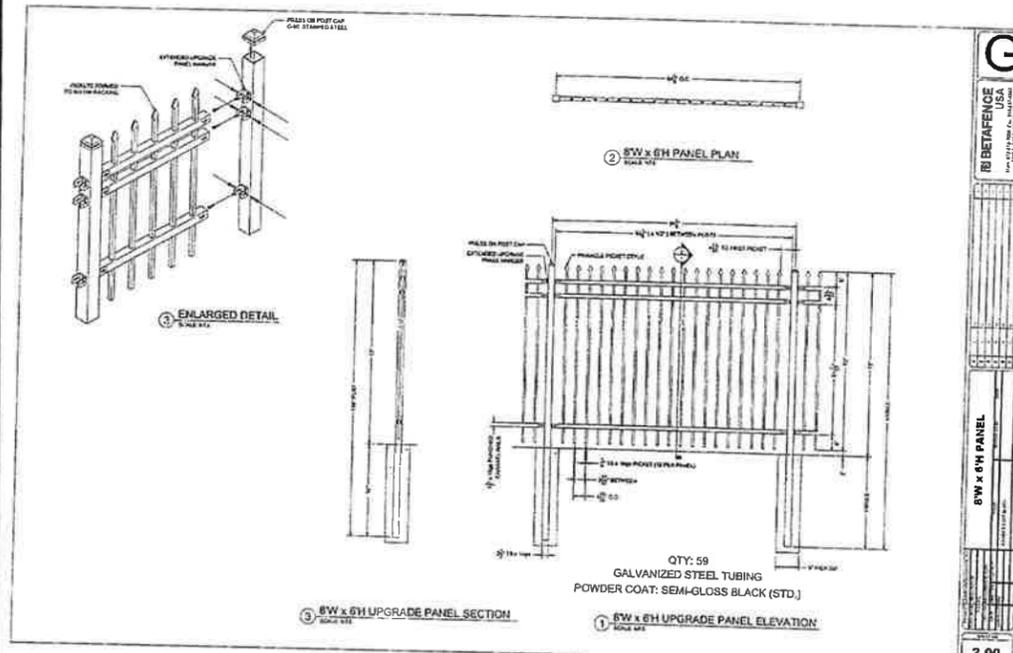
SUBMITTAL  
SALES ORDER: SO  
QUOTE #: KK12414.03-U-R2KK

**B BETA FENCE  
USA**

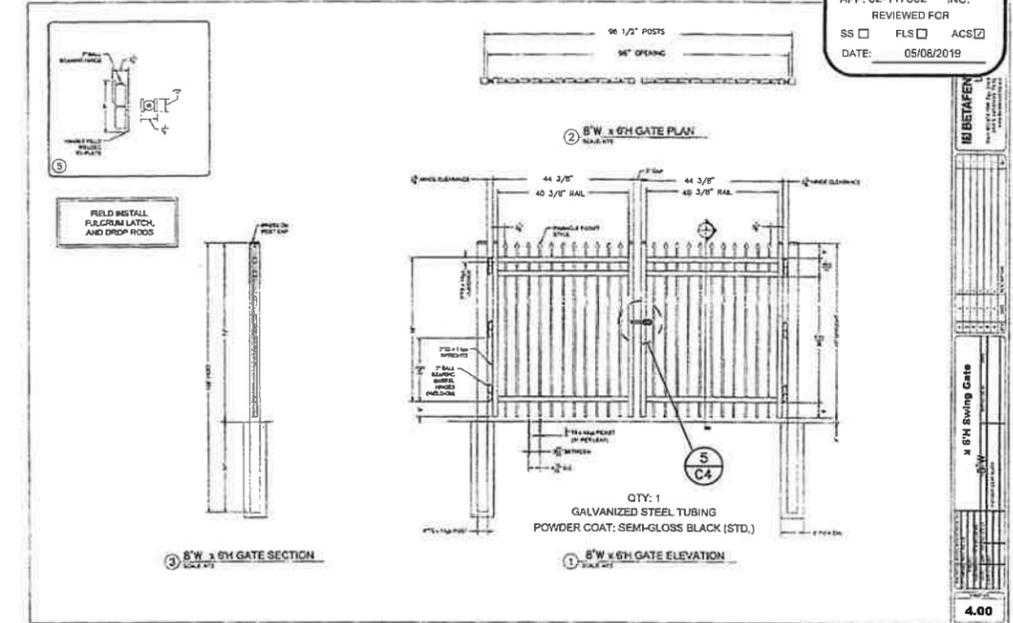
Ennis, TX 75119  
3309 S. Interstate 45  
972-878-7000  
Fax: 214-887-4552  
Toll: 888-650-4766  
www.BetaFenceUSA.com

**THOLL FENCE DISTRIBUTOR**  
NOT TO SCALE

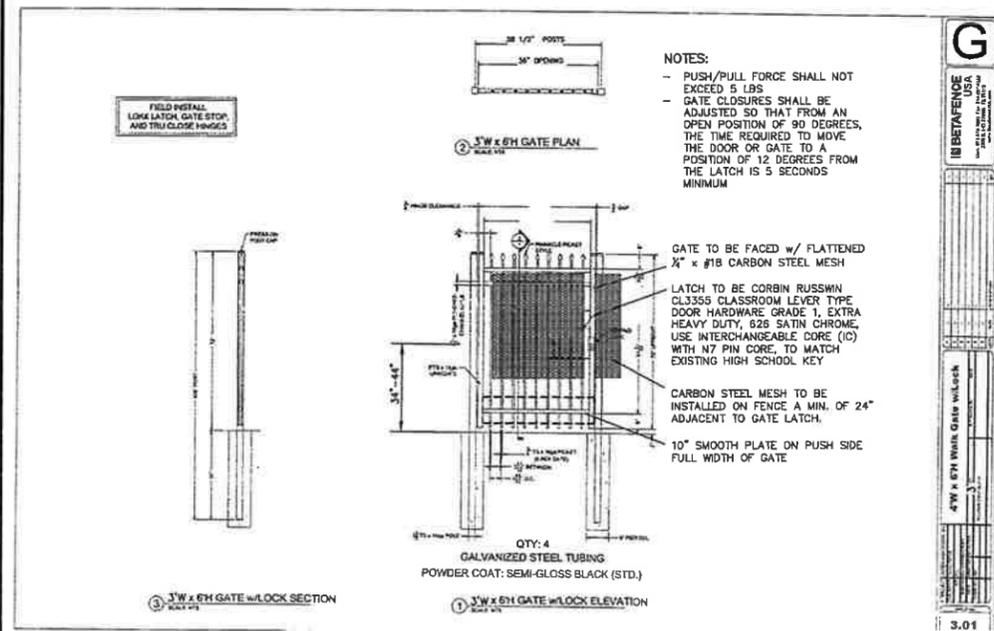
FENCE & GATE SHOP DRAWINGS:  
THE FENCE MANUFACTURER SHALL  
HAVE PREPARED SPECIFIC SHOP  
DRAWINGS FOR THE FENCES AND  
GATES FOR THIS PROJECT. THESE  
PLANS ARE TO BE SUBMITTED TO,  
AND APPROVED BY THE ENGINEER  
PRIOR TO CONSTRUCTION



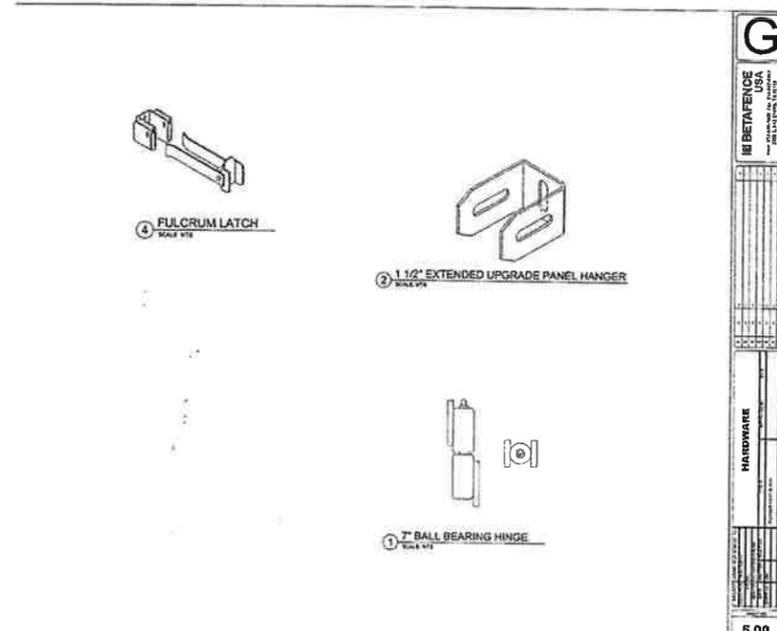
**8' WIDE PANEL SECTION**  
NOT TO SCALE



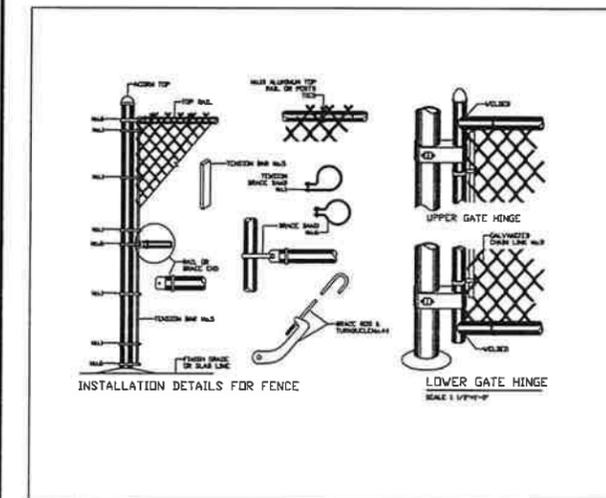
**8' WIDE GATE DETAIL**  
NOT TO SCALE



**3' MAN GATE DETAIL**  
NOT TO SCALE



**FENCE HARDWARE DETAILS**  
NOT TO SCALE



**CHAIN LINK FENCE DETAIL**  
NOT TO SCALE

**FENCE DETAILS**

LASSEN HIGH SCHOOL - FENCING & GATES

SHEET

**C7**

SHEET 7 OF 8

JOB No. 15-34

NO.	DATE	DESCRIPTION	BY
1	4/17/19	DSA REVISIONS	JB
		REVISIONS	

**NST Engineering, Inc.**  
1495 Riverside Drive  
Susanville, CA 96130  
(530) 257-8173

DRAWN BY: JB  
CHECKED BY: JAM  
DATE: 1/17/19  
JOB No. 2015-034

Revisions:

Engineer:

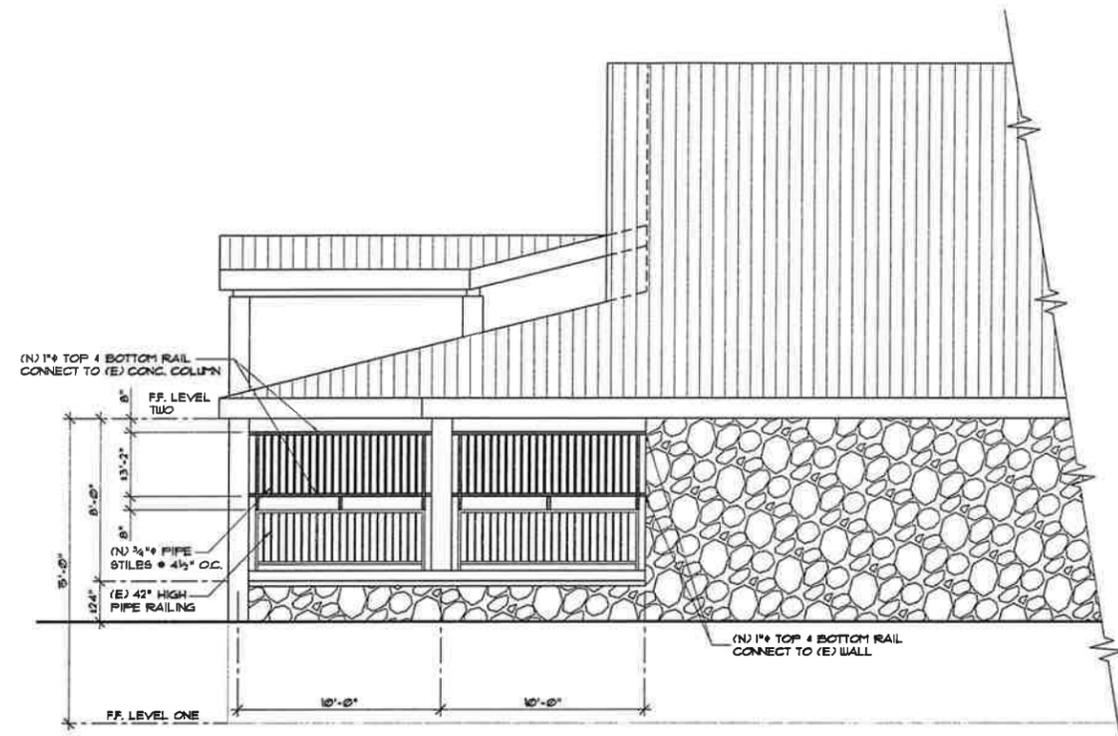
Project Title:  
 PROPOSED SECURITY RAILING GATE & FENCE FOR:  
**LASSEN UNION HIGH SCHOOL**  
 1324 CORNELL STREET, SUSANVILLE, CA.  
 LASSEN COUNTY, CALIFORNIA

**NST ENGINEERING, INC.**  
 1495 Riverside Drive • Susanville, CA 96130  
 Engineering • Planning • Surveying  
 Phone: (530) 251-5113 Fax: (530) 251-6212

Date: 1/17/19  
 Drawn: TM  
 Checked: JM

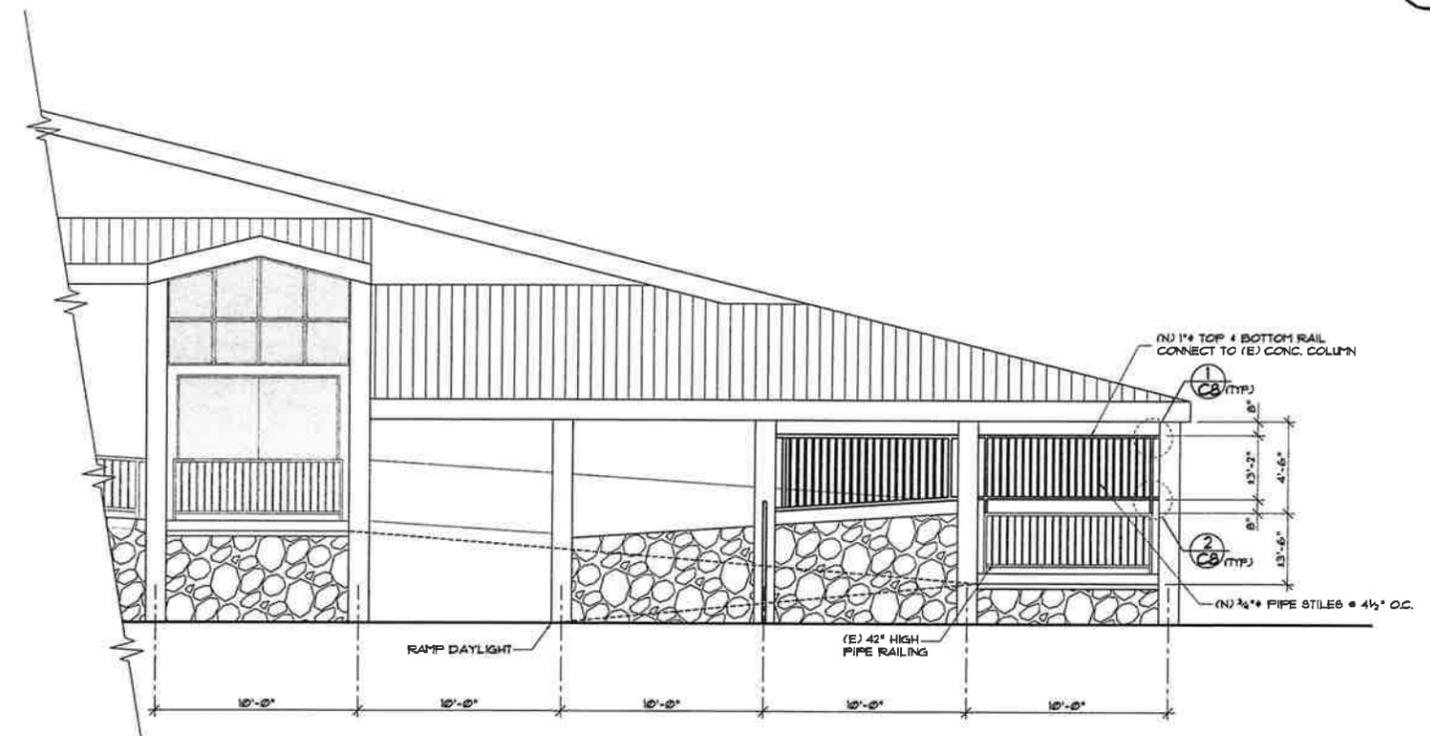
Sheet No.  
**C8**  
 Of 8 Sheets

Job No. 2015-34  
 File No. FENCE



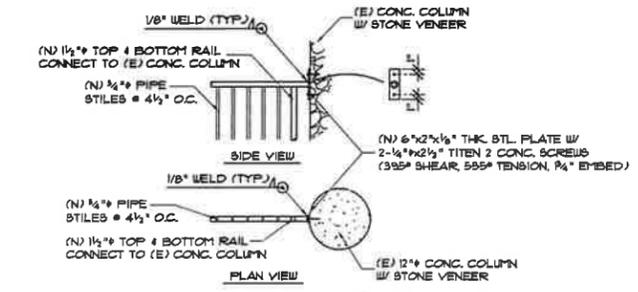
**FRONT ELEVATION - North**

SCALE: 1/4" = 1'-0"

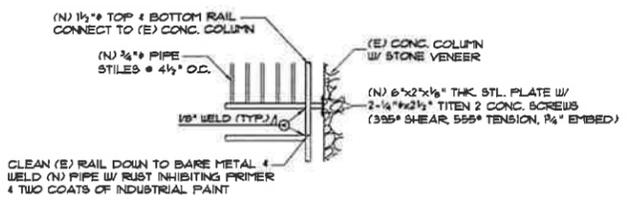


**SIDE ELEVATION - East**

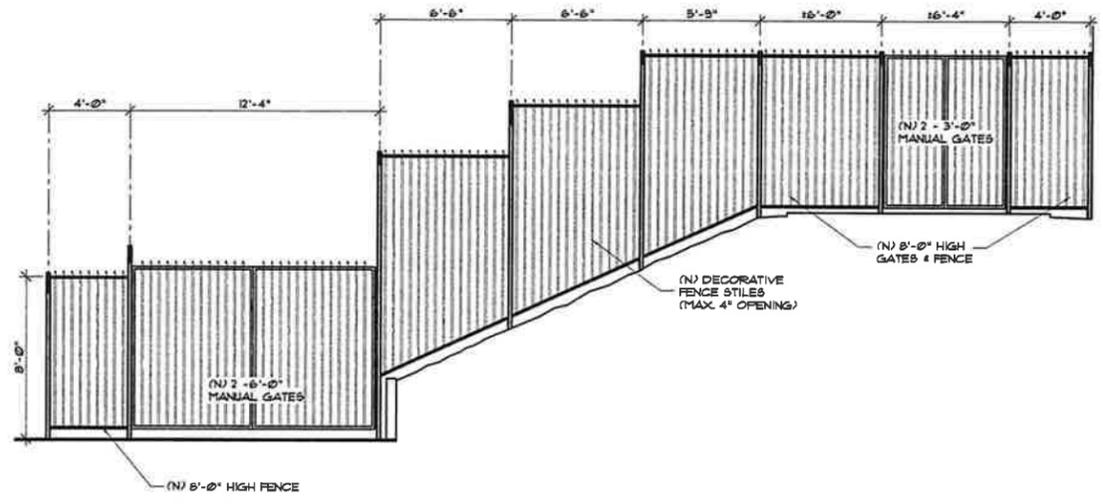
SCALE: 1/4" = 1'-0"



**DETAIL 1**  
 SCALE: 1/2" = 1'-0"



**DETAIL 2**  
 SCALE: 1/2" = 1'-0"



**FRONT ELEVATION - East**

SCALE: 1/4" = 1'-0"